

OVERALL DEMOLITION SITE PLAN

SCALE: 1" = 20'-0"

DEMOLITION KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- D1 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE CURB, GUTTER AND WALKWAY - TYPICAL AS SHOWN
- D2 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING AC PAVING INCLUDING BUT NOT LIMITED TO AC PAVING, WHEEL STOPS (WHERE OCCUR), AND AGGREGATE BASE - TYPICAL AS SHOWN
- D3 CONTRACTOR SHALL REMOVE EXISTING 4" WIDE PAINTED STALL STRIPING AS REQUIRED TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN
- D4 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING BREEZEWAY AS REQUIRED TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN
- D5 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING LANDSCAPE PLANTER AS REQUIRED TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN
- D6 CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE FLATWORK AS REQUIRED TO ACCOMMODATE NEW WORK - TYPICAL AS SHOWN

50

WR&D

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THE USE OF THE PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH THEY WERE PREPARED. ANY REUSE OR REPRODUCTION OF THESE PLANS OR SPECIFICATIONS IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT, AND VISUAL CONTACT WITH THESE SPECIFICATIONS FROM FACE IS VERBALLY AND ACCEPTANCE OF THESE RESTRICTIONS.

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 EXISTING 4" WIDE PAINTED STALL STRIPING.
- 2 EXISTING AC PAVED PARKING LOT AND/OR DRIVEWAY TO REMAIN INTACT. NO WORK U.O.N. PROTECT FROM DAMAGE.
- 3 EXISTING LANDSCAPING AND IRRIGATION.
- 4 EXISTING DRIVEWAY APPROACH TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.
- 5 INDICATES EXISTING TRASH / RECYCLE ENCLOSURE.
- 6 EXISTING CURB, GUTTER & SIDEWALK TO REMAIN. REPAIR AND REPLACE CURB / GUTTER / SIDEWALK AS REQUIRED TO ACCOMMODATE NEW WORK.
- 7 INDICATES PROPERTY LINE.
- 8 EXISTING COUNTY MAINTAINED ASPHALT ROAD TO REMAIN INTACT. NO WORK U.O.N. PROTECT FROM DAMAGE.

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO DETERMINE THE EXACT EXTENT OF ALL SITE DEMOLITION ITEMS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING UTILITIES IN THE FIELD PRIOR TO WORK. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. THE PROJECT SPECIFICATIONS AND ANY APPLICABLE STANDARD DETAILS FOR THE PROJECT.
4. THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS AND SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK SHOWN ON THESE PLANS.
5. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON THIS PROJECT (800-227-2600). THE CONTRACTOR SHALL REMOVE ALL U.S.A. MARKINGS AS SOON AS THEY ARE NO LONGER NEEDED, BY USING A HIGH PRESSURE WATER METHOD ONLY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT FOR REPAIRING AND REPLACING AT CONTRACTOR EXPENSE, ANY STRUCTURES, FENCES, WALLS, OR PLANT LIFE DAMAGED OR DESTROYED BY THE OPERATIONS. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AND ALL DAMAGES OCCURRING BY THE OPERATIONS ON ADJACENT PROPERTIES AND ANYWHERE OUTSIDE THE CONTRACT LIMIT LINES. THE DAMAGED ITEMS WILL BE RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT AND ENGINEER.
7. KEEP ALL PLANTING, PAVING AND CURB AREAS FREE FROM DEBRIS AND TRASH DURING THE ENTIRE DURATION OF THE CONTRACT.
8. CARE SHOULD BE TAKEN WITH EXISTING TREES TO REMAIN. GRADES WITHIN THE DRIP LINE OF THE TREE SHALL NOT BE CHANGED UNLESS OTHERWISE SPECIFIED ON THE PLANS. UNNECESSARY COMPACTION OF THE AREA WITHIN THE DRIP LINE SHALL BE AVOIDED. SEE LANDSCAPE PLANS FOR ADDITIONAL NOTATION.
9. ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF FROM THE PROJECT SITE, EXCEPT ITEMS INDICATED TO BE SALVAGED.
10. UNDERGROUND UTILITIES WITHIN THE LIMITS OF DEMOLITION SHALL BE CAPPED AND ABANDONED OR REMOVED AS REQUIRED, UNLESS SHOWN OTHERWISE. SEE UTILITY PLANS FOR FURTHER DETAILS.
11. DEMOLITION WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.

THE MARKETPLACE AT CARMEL VALLEY RENOVATION

JOB NO. 18011

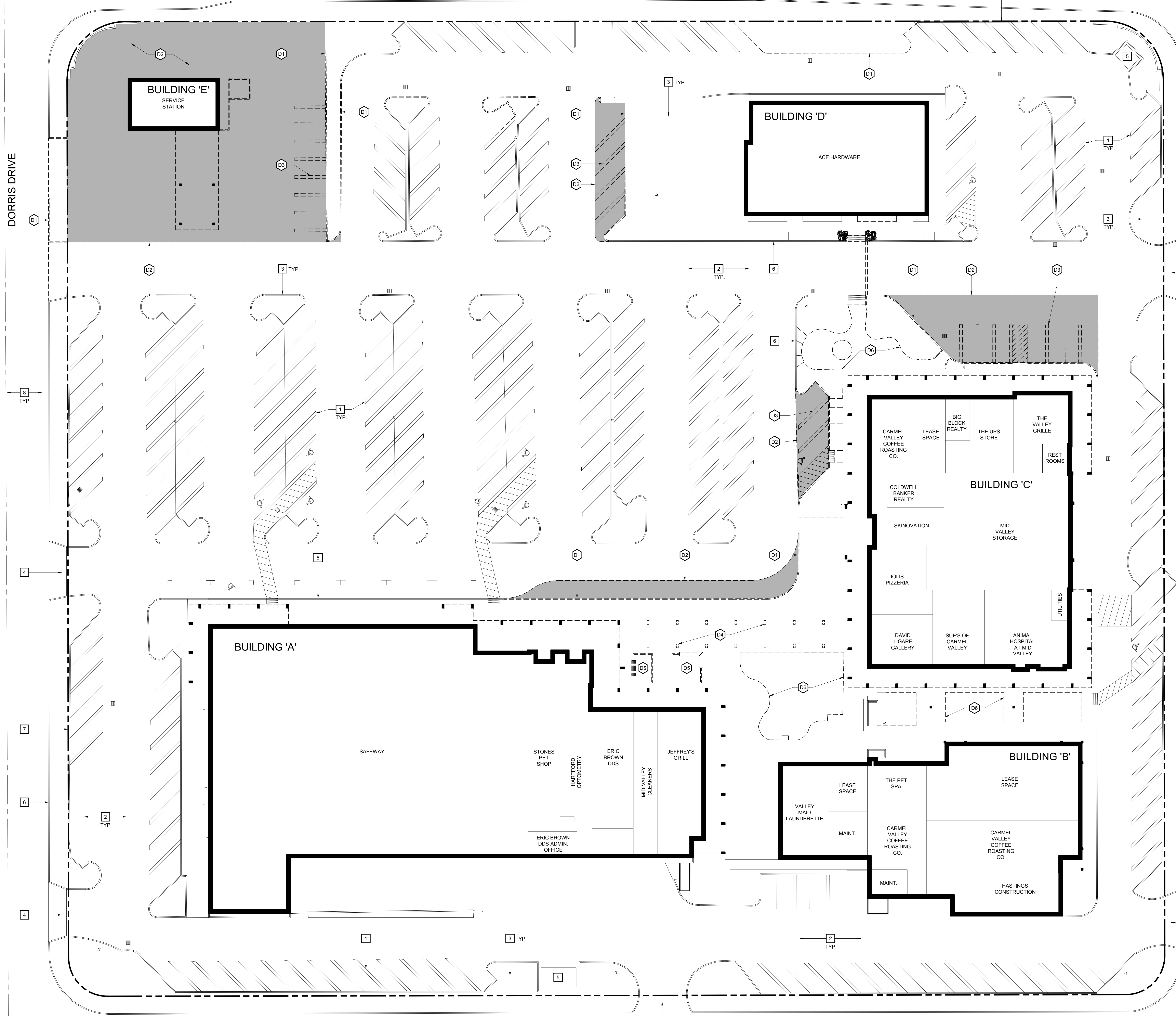
PRINT DATE: 5.8.2019
DRAWN BY: JTI / SC
CHECKED BY: SC
SET ISSUED:

SHEET NAME: OVERALL DEMOLITION SITE PLAN

SHEET NO.:

D100

FILE NAME: 18011-D100





BUILDING A
EXISTING NORTH EAST ELEVATION
SCALE: N.T.S.



BUILDING C
EXISTING NORTH WEST ELEVATION
SCALE: N.T.S.



BREEZEWAY
EXISTING NORTH ELEVATION
SCALE: N.T.S.



BUILDING C
EXISTING WEST ELEVATION
SCALE: N.T.S.



BUILDING E
EXISTING SOUTH ELEVATION
SCALE: N.T.S.



BUILDING B
EXISTING NORTH ELEVATION
SCALE: N.T.S.

THE MARKETPLACE AT CARMEL VALLEY
RENOVATION

A.P.N. NO.: 169-234-007, 169-234-008
THE MARKETPLACE AT CARMEL VALLEY
9550 CARMEL VALLEY ROAD
CARMEL VALLEY, CA 93923

JOB NO.

18011

PRINT DATE:

5.8.2019

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SC

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SC

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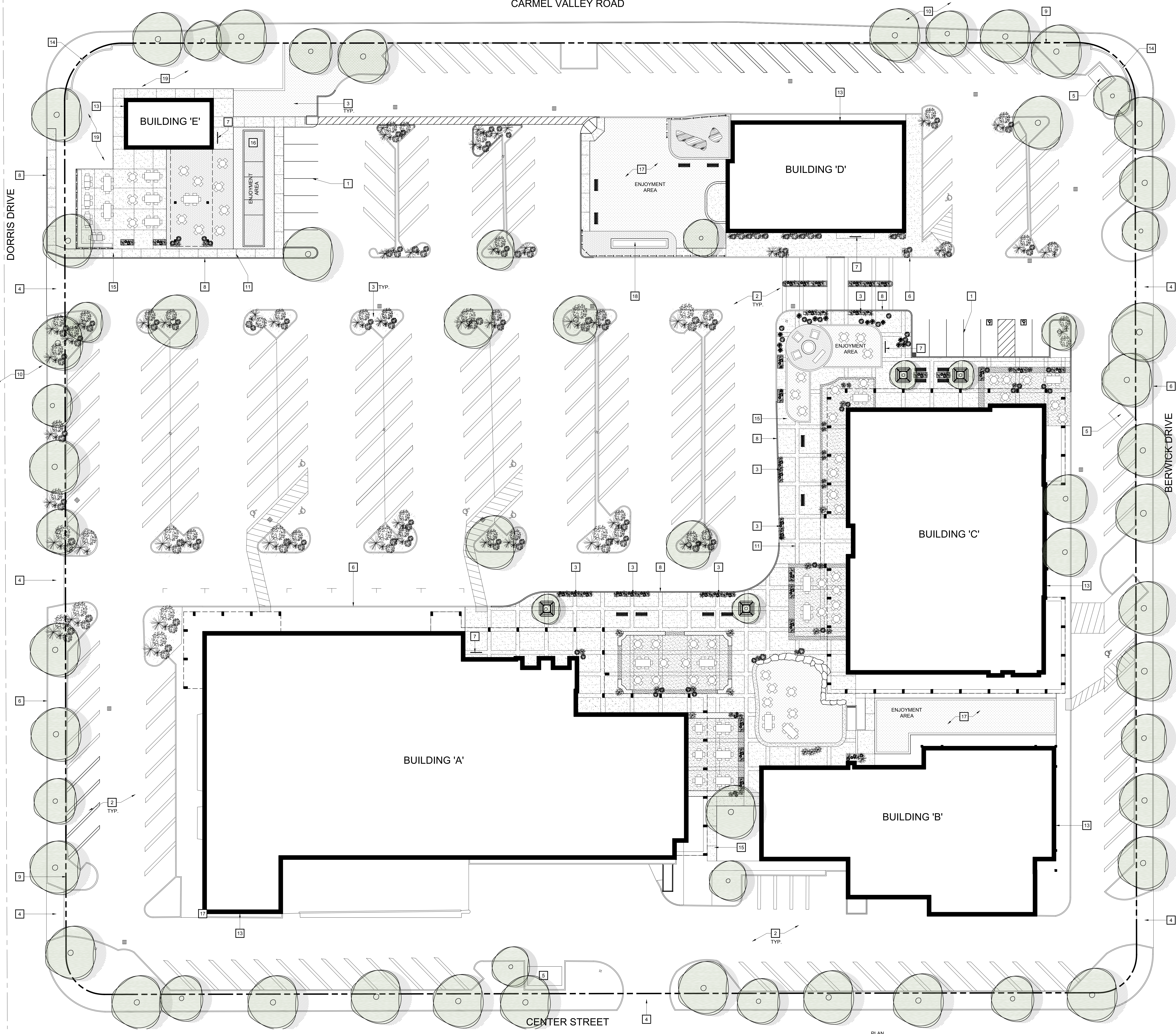
SHEET NAME:

EXISTING
EXTERIOR
ELEVATIONS

SHEET NO.:

D401

FILE NAME.: 18011-D401



DORRIS DRIVE

14

5

4

6

3

2

1

13

12

4

CENTER STREET

6

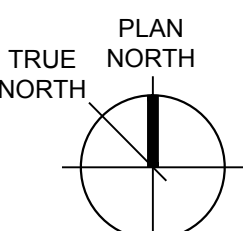
5

13

13

4

4



OVERALL SITE PLAN

SCALE: 1" = 20'-0"

KEY NOTES

- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 1 4" WIDE PAINTED STALL STRIPING PER COUNTY STANDARDS.
 - 2 EXISTING AC PAVED PARKING LOT AND/OR DRIVEWAY TO REMAIN INTACT. NO WORK U.O.N. PROTECT FROM DAMAGE.
 - 3 INDICATES LANDSCAPING AND IRRIGATION. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL REQUIREMENTS.
 - 4 INDICATES EXISTING DRIVEWAY APPROACH TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.
 - 5 INDICATES EXISTING TRASH / RECYCLE ENCLOSURE.
 - 6 EXISTING CURB, GUTTER & SIDEWALK TO REMAIN. REPAIR AND REPLACE CURB / GUTTER / SIDEWALK AS REQUIRED TO ACCOMMODATE NEW WORK.
 - 7 INDICATES LOCATION OF METAL TUBE BIKE RACK.
 - 8 PROVIDE 6" HIGH CONCRETE CURB TYPICAL AS SHOWN.
 - 9 INDICATES PROPERTY LINE.
 - 10 EXISTING COUNTY MAINTAINED ASPHALT ROAD TO REMAIN INTACT. NO WORK U.O.N. PROTECT FROM DAMAGE.
 - 11 INDICATES CONCRETE CONTROL OR EXPANSION JOINTS AT CONCRETE WALKWAY.
 - 12 PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
 - 13 EXISTING BUILDING FOOTPRINT. PROTECT FROM DAMAGE.
 - 14 INDICATES LOCATION OF MONUMENT SIGN - DEFERRED SUBMITTAL.
 - 15 PROVIDE CONCRETE WALKWAY WITH SLIP RESISTANT FINISH (MEDIUM SALT FINISH, TYP.) CONCRETE WALK TO BE A MIN. 4'-0" WIDE. PROVIDE POSITIVE SLOPE AWAY FROM BUILDING WHERE APPLICABLE.
 - 16 INDICATES BOCCO BALL COURT.
 - 17 INDICATES OPEN LAWN AREA FOR OUTDOOR ACTIVITIES.
 - 18 "MY HEART" CARMEL VALLEY SCULPTURE.
 - 19 VINEYARD AREA



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THE MARKETPLACE AT CARMEL VALLEY RENOVATION

THE MARKETPLACE AT CARMEL VALLEY
 9550 CARMEL VALLEY ROAD
 CARMEL VALLEY, CA 93923
 A.P.N. NO.: 169-234-007, 169-234-008

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A100
 FILE NAME: 18011-A100

PARKING REQUIREMENTS

TOTAL PARKING REQUIREMENTS:	62,480 / 250 = 249.9 (250) STALLS
EXISTING PARKING STALLS:	252 STALLS
PROPOSED PARKING STALLS:	259 STALLS
PER CBC TABLE 11B-208.2, (6) ACCESSIBLE SPACES ARE REQUIRED. (1) VAN ACCESSIBLE SPACE (CBC 11B-208.2.4)	
NUMBER OF ACCESSIBLE PARKING SPACES PROVIDED	7 ACCESSIBLE STALLS
NUMBER OF VAN ACCESSIBLE PARKING SPACES PROVIDED	1 ACCESSIBLE VAN STALL
TOTAL NUMBER OF ACCESSIBLE SPACES PROVIDED	8 ACCESSIBLE STALLS

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KEY NOTES

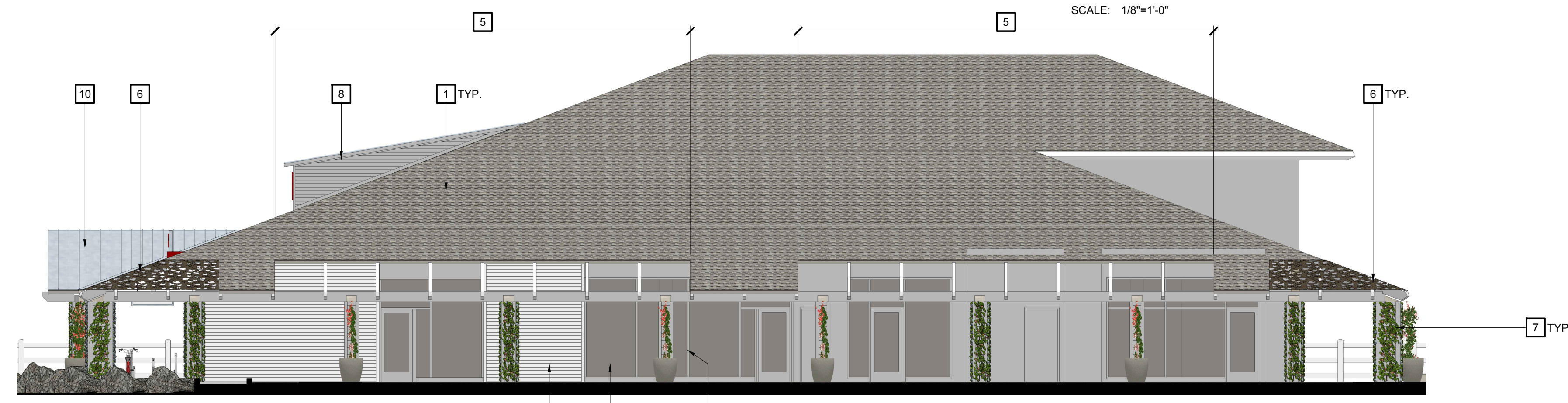
- THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 1 INDICATES EXISTING ROOF TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.
 - 2 INDICATES EXISTING STOREFRONT GLAZING TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.
 - 3 INDICATES EXISTING STOREFRONT WOOD FRAMING TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.
 - 4 INDICATES BUILDING SIGNAGE UNDER SEPARATE PERMIT.
 - 5 INDICATES NEW OPENINGS AT THE EXISTING COVERED WALKWAYS.
 - 6 INDICATES NEW ARTISAN ALUMINUM PANELS. THE PANELS WILL ONLY BE LOCATED AT THE CORNER OPENINGS. SEE 1/A401 FOR EXAMPLE OF PANEL.
 - 7 INDICATES NEW 1X4 HORIZONTAL SIDING TYPICAL AT EXTERIOR WALLS AND EXTERIOR COLUMNS. COLOR TO BE 'DUNN EDWARDS' DEW383 COOL DECEMBER.
 - 8 INDICATES NEW ROOF DORMER. MARQUEE SIGNAGE LOCATION. ROOF DORMER TO HAVE 'BERRIDGE' METAL STANDING SEAM ROOF SYSTEM. COLOR TO BE NATURAL METAL FINISH.
 - 9 INDICATES EXISTING STOREFRONT FRAMES TO BE PAINTED WITH 'PRECISION COATINGS'. COLOR TO BE SILVER MIST WITH A SATIN FINISH.
 - 10 INDICATES 'BERRIDGE' STANDING SEAM ROOF SYSTEM AT ENTRY ROOF GABLE. COLOR TO BE NATURAL METAL FINISH.



BUILDING C WEST ELEVATION
SCALE: 1/8"=1'-0"



BUILDING C NORTH ELEVATION
SCALE: 1/8"=1'-0"



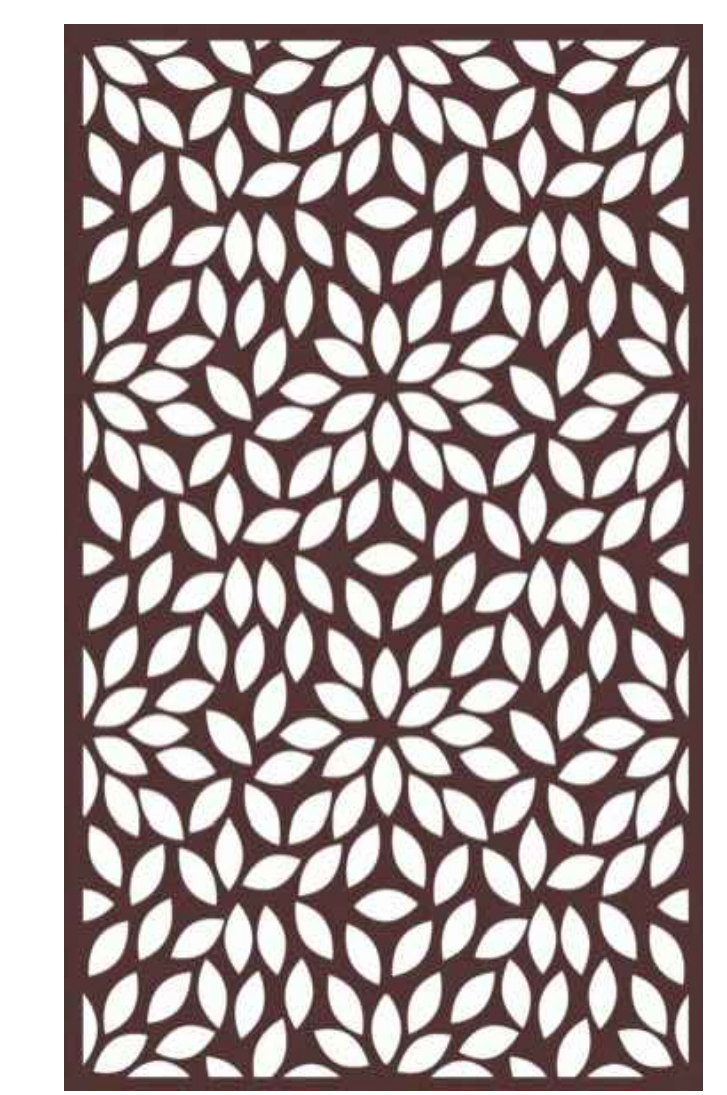
BUILDING C SOUTH ELEVATION
SCALE: 1/8"=1'-0"



BUILDING A EAST ELEVATION
SCALE: 1/8"=1'-0"



BUILDING A NORTH ELEVATION
SCALE: 1/8"=1'-0"



1 ARTISAN PANEL ALUMINUM BRONZE
SCALE: N.T.S.

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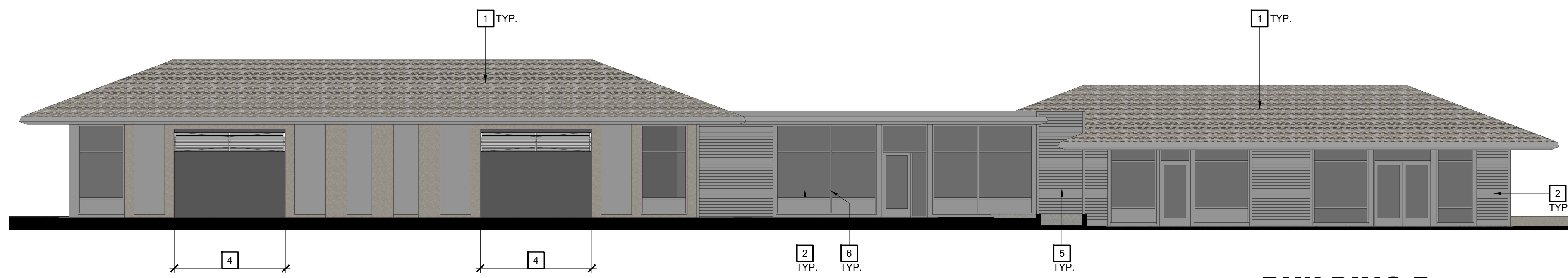
A401

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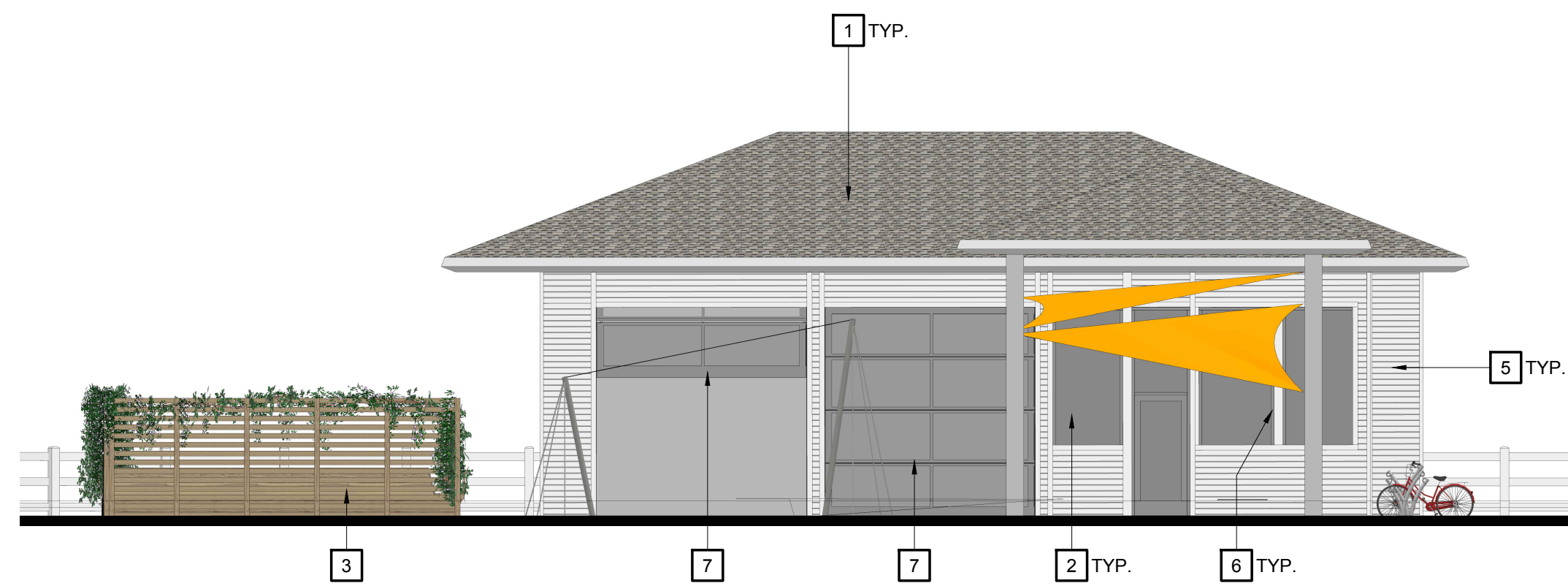
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- 2 INDICATES EXISTING STOREFRONT GLAZING TO REMAIN. CONTRACTOR TO PROTECT FROM DAMAGE.
- 3 INDICATES NEW FENCING AROUND ENCLOSED OUTDOOR AREA.
- 4 INDICATES NEW 9'-0" HIGH x 12'-0" WIDE OPENINGS w/ SECTIONAL ROLL UP DOORS FOR OUTDOOR ACCESS.
- 5 INDICATES NEW 1X4 HORIZONTAL SIDING TYPICAL AT EXTERIOR WALLS AND EXTERIOR COLUMNS. COLOR TO BE 'DUNN EDWARDS' DEW383 COOL DECEMBER.
- 6 INDICATES EXISTING STOREFRONT FRAMES TO BE PAINTED WITH 'PRECISION COATINGS'. COLOR TO BE SILVER MIST WITH A SATIN FINISH.
- 7 INDICATES EXISTING SECTION ROLL UP DOOR FRAMES TO BE PAINTED WITH 'PRECISION COATINGS'. COLOR TO BE SILVER MIST WITH A SATIN FINISH.



**BUILDING B
EXTERIOR ELEVATION**
SCALE: 1/8"=1'-0"



**BUILDING E
EXTERIOR ELEVATION**
SCALE: 1/8"=1'-0"

**THE MARKETPLACE AT CARMEL VALLEY
RENOVATION**

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CARMEL VALLEY, CA 93923
A.P.N. NO.: 169-234-007, 169-234-008

JOB NO:
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SHEET NAME:
**PROPOSED
EXTERIOR
ELEVATIONS**

SHEET NO.:

A402